

REPORT OF THE PLANNING AND DEVELOPMENT DEPARTMENT FOR

APPLICATION FOR REZONING ORDINANCE 2014-544

SEPTEMBER 4, 2014

The Planning and Development Department hereby forwards to the Planning Commission, Land Use and Zoning Committee and City Council its comments and recommendation regarding Application for Rezoning Ordinance **2014-544**.

Location: 0 Old St. Augustine Road
Between Courtland Oaks and Euclid Street

Real Estate Numbers: 157230-0000, 157254-0000, 157263-0000, 157235-0000, 157254-0010, 157227-0000, 157237-0000, 157233-0010, 157228-0000, 157231-0010, 157234-0000, 157231-0000, 157224-0000

Current Zoning District: Residential Rural-Acre (RR-Acre)

Proposed Zoning District: Residential Low Density-60 (RLD-60)

Current Land Use Category: Low Density Residential (LDR)

Planning District: Southeast, 3

City Council District: The Honorable Matt Schellenberg, District 6

Owner: Jessie Killebrew
Alsop Companies
77 Almeria Street
St. Augustine, Florida 32084

Staff Recommendation: **APPROVE with the caveat rezoning to RLD-70**

GENERAL INFORMATION

Application for Rezoning Ordinance **2014-544** seeks to rezone 18.91 acres of land from the RR-Acre to RLD-60 Zoning District. Staff maintains that the RLD-70 is generally compatible with the surrounding 100 foot and 70 foot wide parcels. The site is within the LDR functional land use category as defined by the Future Land Use Map series (FLUMs) contained in the Future Land Use Element (FLUE) adopted as part of the 2030 Comprehensive Plan. According to the applicant, the request for the rezoning is to allow for a single-family subdivision. The overall site has frontage primarily along Old St. Augustine a minor arterial roadway and Courtland Oaks

Street, a local road as classified by the Functional Highway Classification Map of the 2030 Comprehensive Plan.

STANDARDS, CRITERIA AND FINDINGS

Pursuant to Section 656.125 of the Zoning Code, an applicant for a proposed rezoning bears the burden of proving, by substantial competent evidence, that the proposed rezoning is consistent with the City's comprehensive plan for future development of the subject parcel. In determining whether a proposed rezoning is consistent with the 2030 Comprehensive Plan, the Planning and Development Department considers several factors, including (a) whether it is consistent with the functional land use category identified in the Future Land Use Map series of the Future Land Use Element; (b) whether it furthers the goals, objectives and policies of the Comprehensive Plan; and (c) whether it conflicts with any portion of the City's land use regulations. Thus, the fact that a proposed rezoning is permissible within a given land use category does not automatically render it consistent with the 2030 Comprehensive Plan, as a determination of consistency entails an examination of several different factors.

1. Is the proposed rezoning consistent with the 2030 Comprehensive Plan?

Yes. The Planning and Development Department finds that the subject property is located in a Low Density Residential (LDR) functional land use category according to the Future Land Use Map series (FLUMs) adopted as part of the 2030 Comprehensive Plan. The LDR functional land use is a category intended to provide for low density residential development. Generally, single-family detached housing should be the predominant development typology in this category.

Therefore, the proposed rezoning is consistent with the FLUMs adopted as part of the 2030 Comprehensive Plan pursuant to Chapter 650 *Comprehensive planning for future development* of the Ordinance Code.

2. Does the proposed rezoning further the goals, objectives and policies of the 2030 Comprehensive Plan?

Objective 3.1: Continue to maintain adequate land designated for residential uses which can accommodate the projected population and provide safe, decent, sanitary and affordable housing opportunities for the citizens. Protect single-family residential neighborhoods by requiring that any other land uses within single-family areas meet all applicable requirements described in the Developmental Areas and the Plan Category Descriptions of the Operative Provisions of the 2030 Comprehensive Plan and Land Development Regulations. The proposed RLD-70 zoning district allows development compatible with the surrounding lot sizes which are predominately a mix between 70 and 100 feet wide lots.

Objective 6.3: The City shall accommodate growth in Jacksonville by encouraging and facilitating new infill development and redevelopment on vacant, bypassed and underutilized land within areas that already have infrastructure, utilities, and public facilities, while addressing the needs of City residents. This application for rezoning will allow for the existence of a single-family development, thereby strengthening the viability of the residential area.

3. *Does the proposed rezoning conflict with any portion of the City's land use regulations?*

No. It is the opinion of the Planning and Development Department that the proposed rezoning does not appear to be in conflict with any portion of the City's land use regulations. Proposed lot size of 70 foot in width is generally compatible with the surrounding 100 foot and 70 foot wide parcels. The aforementioned lot sizes represent large lot single-family development and provide a greater variety of housing product types within the area.

SURROUNDING LAND USE AND ZONING

The subject property is located on Old St. Augustine Road and Courtland Oaks Street. The surrounding uses, land use category and zoning are as follows:

Adjacent Properties	Land Use Category	Zoning District	Current Use
North	LDR	RLD-70	Single-family
East	LDR	PUD	Single-family
South	LDR	RLD-60	Single-family
West	LDR	RLD-70	Single-family

The proposed rezoning to RLD-70 will be consistent and compatible with the surrounding residential with the surrounding 100 foot and 70 foot wide parcels.

SUPPLEMENTARY INFORMATION

Upon visual inspection of the subject property on August 28, 2014, the required Notice of Public Hearing sign was posted:



RECOMMENDATION

Based on the foregoing, it is the recommendation of the Planning and Development Department that Application for Rezoning Ordinance 2014-544 be **APPROVED** with the caveat rezoning to **RLD-70**.

Subject site off Old St. Augustine Road



Source: City of Jacksonville, Planning & Development Department
Date: 8/28/14

Single-family located off Courtland Oaks Street



Source: City of Jacksonville, Planning & Development Department
Date: 8/28/14

Recreational area for horses off Courtland Oaks Street



Source: City of Jacksonville, Planning & Development Department
Date: 8/28/14

View of Courtland Oaks and Euclid Streets

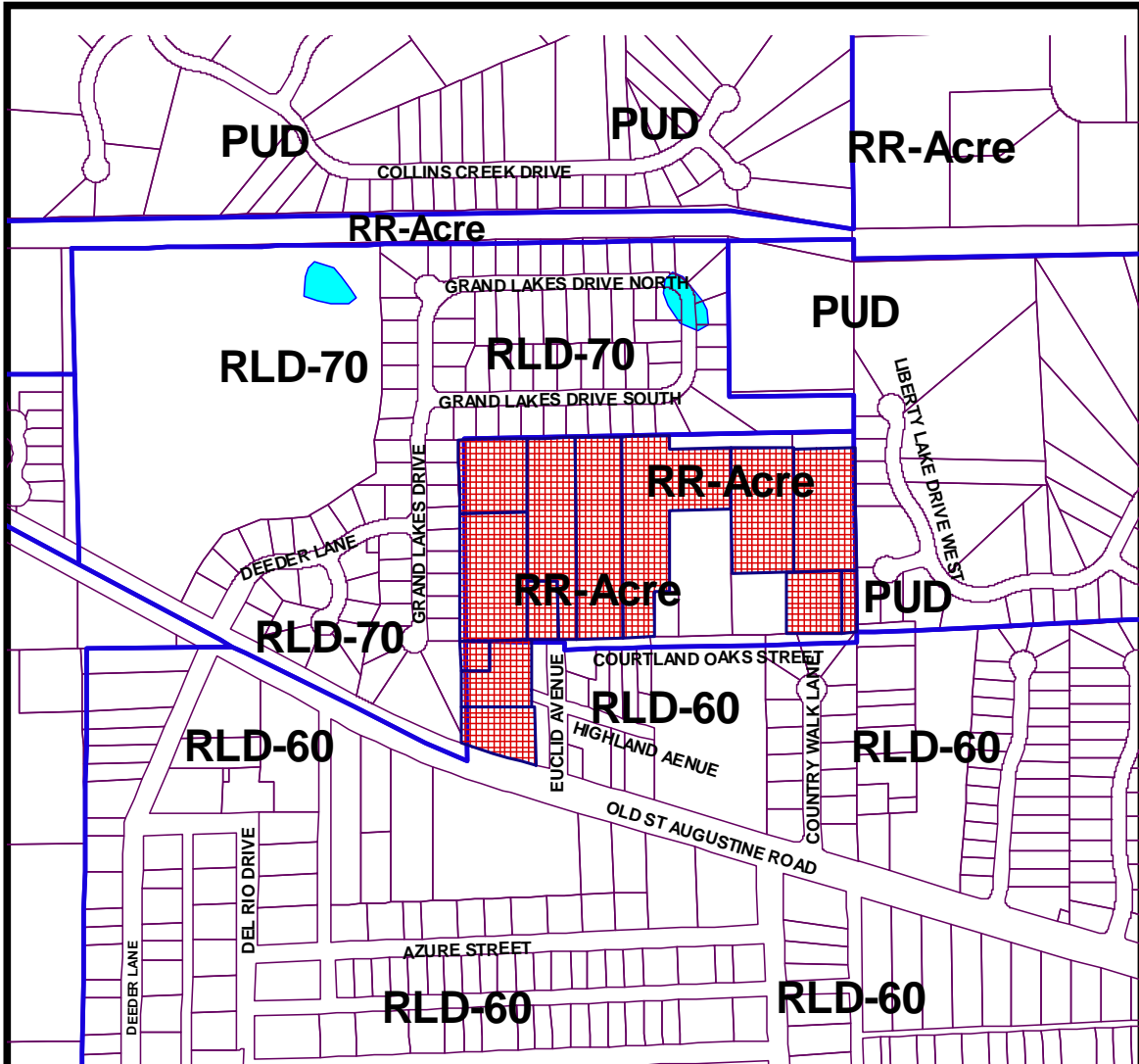


Source: City of Jacksonville, Planning & Development Department
Date: 8/28/14

Aerial view of subject properties



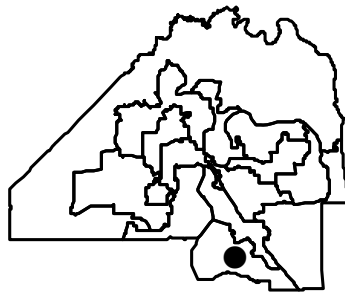
Source: ArcView GIS 3.3
Date: 8/28/2014



REQUEST SOUGHT:

FROM: RR-Acre & RLD-60

TO: RLD-60



0 100 Feet



COUNCIL DISTRICT:

6

ORDINANCE 2014_0544

FILE COPY

Application For Rezoning To Conventional Zoning District

Planning and Development Department Info

Ordinance # 2014-0544 **Staff Sign-Off/Date** ME / 08/05/2014
Filing Date 05/28/2014 **Number of Signs to Post** 5

Hearing Dates:

1st City Council 09/09/2014 **Planning Commission** 09/04/2014
Land Use & Zoning 09/16/2014 **2nd City Council** 09/23/2014

Neighborhood Association N/A
Neighborhood Action Plan/Corridor Study N/A

Application Info

Tracking # 632 **Application Status** PENDING
Date Started 05/16/2014 **Date Submitted** 05/28/2014

General Information On Applicant

Last Name	First Name	Middle Name
HARDEN	PAUL	M.

Company Name
LAW OFFICE OF PAUL M. HARDEN

Mailing Address
501 RIVERSIDE AVENUE, SUITE 901

City	State	Zip Code
JACKSONVILLE	FL	32202

Phone	Fax	Email
9043965731	9043995461	PAUL_HARDEN@BELLSOUTH.NET

General Information On Owner(s)

Check to fill first Owner with Applicant Info

Last Name	First Name	Middle Name
KILLEBREW	JESSE	

Company/Trust Name
ALSOP COMPANIES

Mailing Address
77 ALMERIA STREET

City	State	Zip Code
ST. AUGUSTINE	FL	32084

Phone	Fax	Email

Property Information

Previous Zoning Application Filed For Site?

If Yes, State Application No(s)

Map RE#	Council District	Planning District	From Zoning District(s)	To Zoning District
Map				

	157230 0000	6	3	RR-ACRE	RLD-60
Map	157254 0000	6	3	RR-ACRE	RLD-60
Map	157263 0000	6	3	RR-ACRE	RLD-60
Map	157235 0000	6	3	RR-ACRE	RLD-60
Map	157254 0010	6	3	RR-ACRE	RLD-60
Map	157227 0000	6	3	RR-ACRE	RLD-60
Map	157237 0000	6	3	RR-ACRE	RLD-60
Map	157233 0010	6	3	PUD-SC	RLD-60
Map	157228 0000	6	3	RR-ACRE	RLD-60
Map	157231 0010	6	3	RR-ACRE	RLD-60
Map	157234 0000	6	3	RR-ACRE	RLD-60
Map	157231 0000	6	3	RR-ACRE	RLD-60
Map	157224 0000	6	3	RR-ACRE	RLD-60

Ensure that RE# is a 10 digit number with a space (##### #)

Existing Land Use Category

Low Density Residential

Land Use Category Proposed?

If Yes, State Land Use Application #

Total Land Area (Nearest 1/100th of an Acre) 18.91

Justification For Rezoning Application

TO PERMIT SINGLE FAMILY RESIDENTIAL DEVELOPMENT TO BE CONSISTENT WITH SURROUNDING AREA AND IN ACCORDANCE WITH THE RLD-60 ZONING DISTRICT.

Location Of Property

General Location

ADJACENT TO OLD ST. AUGUSTINE ROAD; SOUTH OF GRAND LAKES DRIVE SOUTH

House #	Street Name, Type and Direction	Zip Code
0	OLD ST AUGUSTINE RD	32258

Between Streets

GRAND LAKES DRIVE SOUTH and OLD ST. AUGUSTINE ROAD

Required Attachments For Formal, Complete application

The following items must be attached to each application in the order prescribed below. All pages of the application must be on 8½" X 11" paper with provision for page numbering by the staff as prescribed in the application instructions manual. Please check each item below for inclusion of information required.

Exhibit 1 A very clear, accurate and legible legal description of the property on the form provided with application package (Exhibit 1). The legal description (which may be either lot and block or metes and bounds) should not be a faint or distorted copy that is difficult to read or duplicate.

Exhibit A Property Ownership Affidavit - Notarized Letter(s).

Exhibit B Agent Authorization - Notarized letter(s) designating the agent.

Supplemental Information

Supplemental Information items are submitted separately and not part of the formal application

- One copy of the Deeds to indicate proof of property ownership.

Public Hearings And Posting Of Signs

No application will be accepted until all the requested information has been supplied and the required fee has been paid. Acceptance of a completed application does not guarantee its approval by the City Council. The applicant will be notified of public hearing dates on this application upon the filing of the application. The applicant or authorized agent **MUST BE PRESENT** at the public hearings. The required SIGN(S) must be **POSTED** on the property **BY THE APPLICANT** within 5 days after the filing of an application. The sign(s) may be removed only after final action of the Council and must be removed within 10 days of such action.

The applicant must also pay for the required public notice stating the nature of the proposed request which is required to be published in an approved newspaper **AT LEAST 14 DAYS IN ADVANCE OF THE PUBLIC HEARING.** (The Daily Record - 10 North Newnan Street, Jacksonville, FL 32202 • (904) 356-2466 • Fax (904) 353-2628) Advertising costs are payable by the applicant directly to the newspaper and the applicant must furnish **PROOF OF PUBLICATION** to the Planning and Development Department, 214 North Hogan Street, Ed Ball Building, Suite 300, Jacksonville, Florida, 32202, prior to the public hearing.

Application Certification

I, hereby, certify that I am the owner or the authorized agent of the owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to and made a part of this application, are accurate and true to the best of my knowledge and belief. I also attest by my signature that all required information for this rezoning application is completed and duly attached in the prescribed order. Furthermore, if the package is found to be lacking the above requirements, I understand that the application will be returned for correct information.

- Agreed to and submitted

Filing Fee Information

- 1) Rezoning Application's General Base Fee:** \$2,000.00
- 2) Plus Cost Per Acre or Portion Thereof**
18.91 Acres @ \$10.00 /acre: \$190.00
- 3) Plus Notification Costs Per Addressee**
126 Notifications @ \$7.00 /each: \$882.00
- 4) Total Rezoning Application Cost:** \$3,072.00

NOTE: Advertising Costs To Be Billed to Owner/Agent

02101017

Prepared by:
Fred H. Kent, III, Esquire
Kent & Crawford
225 Water Street, Ste 900
Jacksonville, FL 32202
RE#: 157234-0000/157234-0010

Doc# 2003029750
Book: 10891
Pages: 1372 - 1374
Filed & Recorded
01/29/2003 01:17:27 PM
JIM FULLER
CLERK CIRCUIT COURT
DUVAL COUNTY
RECORDING \$ 13.00
TRUST FUND \$ 2.00
DEED DOC STAMP \$ 175.00

Book 10891 Page 1372

15.00
175.00

TRUSTEE'S DEED

THIS INDENTURE is made this 9th day of January, 2003, by and between H.T. RHIM, R.L. WILSON, AARON L. NEAL, ODELL SMITH, JR. AND NATHANIEL FREDERICK, as Trustees of the East Florida and Bethany Baptist Association, whose address is c/o 954 Kings road, Jacksonville, Florida 32240, hereinafter called the "Trustees," and GREGORYA. YOUNGBLOOD AND RANDAA. YOUNGBLOOD, husband and wife, whose address is 4134 Cransley Place, Jacksonville, Florida 32257, and whose taxpayer identification number is _____ and _____, hereinafter called the "grantee".

WITNESSETH: That,

WHEREAS, the Trustees are the duly acting and appointed Trustees for the East Florida and Bethany Baptist Association which the Trustees have the authority to sell and convey the property hereinafter described to the grantee and to make, execute, acknowledge and deliver this indenture;

NOW, THEREFORE, by virtue and in execution of said powers and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable considerations to it in hand paid by the grantee, the receipt of which is hereby acknowledged, the said Trustees have conveyed and confirmed, and by these presents does hereby grant, bargain, sell, alienate, remise, release, convey and confirm, unto the said grantee and the heirs, legal representatives, successors and assigns of the said grantee, that certain piece, parcel or tract of land located in Duval County, Florida, described as follows:

SEE SCHEDULE "A" ATTACHED

TO HAVE AND TO HOLD the same, together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, unto the Grantee in fee simple.

This conveyance is subject to ad valorem taxes or assessments levied or which may become a lien subsequent to December 31st of the calendar year next preceding the date hereof.

And the said Trustees do hereby covenant that they are the duly qualified and acting Trustees as aforesaid, that they have good, right and lawful authority to execute this instrument and that they will warrant and defend the title to said property against the lawful claims of all persons claiming by, through or under the Trustees, but no others.

3

IN WITNESS WHEREOF, the said Trustees have hereunto executed this instrument under seal as of the day and year first above written.

Signed, sealed and delivered in the presence of.

The East Florida and Bethany Baptist Association

Freddie R. Starks
Printed Name: FREDDIE R. STARKS

BY: H. T. Rhim
H. T. Rhim

Cleveland Raymond
Printed Name: CLEVELAND RAYMOND

R. L. Wilson
R. L. WILSON

As to all Trustees

Aaron L. Neal
AARON L. NEAL

Odell Smith, Jr.
ODELL SMITH, JR.

Nathaniel Frederick
NATHANIEL FREDERICK

as Trustees of the East Florida and Bethany Baptist Association

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing instrument was acknowledged before me this 9th day of January, 2003, by H. T. Rhim, R. L. Wilson, Aaron L. Neal, Odell Smith, Jr. and Nathaniel Frederick, as Trustees of The East Florida and Bethany Baptist Association, and who is personally known to me, or who has produced Florida Driver's License or _____ as identification.

Freddie R. Starks
Notary Public, State of Florida
My commission expires: _____

(Notarial Seal)



Freddie R. Starks
MY COMMISSION # DD025921 EXPIRES
May 30, 2005
BONDED THRU TROY FARM INSURANCE, INC.

THIS INSTRUMENT PREPARED BY:

Danese Title & Abstract Company
3820-2 Williamsburg Park Boulevard
Jacksonville, Florida 32257

RECORD AND RETURN TO:

Gregory A. Youngblood
4134 Cransley Place
Jacksonville, FL 32257

RE PARCEL ID #: 157254-0000
BUYER'S TIN:

Book 10935 Page 2404

Doc# 2003058207
Book: 10935
Pages: 2404 - 2405
Filed & Recorded
02/24/2003 03:13:46 PM
JIM FULLER
CLERK CIRCUIT COURT
DUVAL COUNTY
RECORDING \$ 9.00
TRUST FUND \$ 1.50
DEED DOC STAMP \$ 33.60

WARRANTY DEED

THIS WARRANTY DEED made this 11th day of February, 2003 by RAM Properties, a ^{general} limited partnership, hereinafter called Grantor, and whose address is P.O. Box 56272, Jacksonville, FL 32241 to Gregory A. Youngblood and Randa A. Youngblood, his wife, hereinafter called Grantee and whose address is 4134 Cransley Place, Jacksonville, FL 32257.

(Wherever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH:

THAT the Grantor, for and in consideration of the sum of Ten and NO/100 Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate, lying and being in Duval County, Florida, viz:

Part of Government Lot 16, Section 15, Township 4 South, Range 27 East, Duval County, Florida, being part of the lands intended to be described in Deed recorded in Book 54, page 102, of the public records of said county, more particularly described as follows: Begin at the Northwest corner of said Government Lot 16; thence North 89°20'10" East, 80.0 feet along the North line of said Government Lot 16; thence South 0°42'10" West, 100.0 feet; thence South 89°20'10" West, 80.0 feet to the West line of said Government Lot 16; thence North 0°42'10" East, 100.0 feet along the West line of said Government Lot 16 to the Point of Beginning.

The real property described in this instrument is not the constitutional homestead nor the primary physical residence of the Grantor.

SUBJECT TO taxes accruing subsequent to December 31, 2002.

SUBJECT TO covenants, restrictions and easements of record, if any; however, this reference thereto shall not operate to reimpose same.

TOGETHER with all the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
J.M. Danese, Jr.
[Signature]
Alexis Lloyd

RAM Properties
by: *[Signature]*
David Radcliffe
General Partner

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing instrument was acknowledged before me this 11th day of February, 2003 by David Radcliffe, General Partner of RAM Properties, on behalf of the partnership. He has produced a valid Florida driver's license as identification.

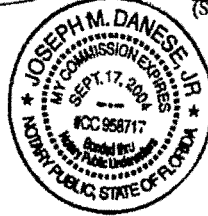
Notary Public, State and County Aforesaid

[Signature]
Notary Signature

(Title or Rank)

Notary Printed Signature

(Serial No., if any)



Executed as of December 28, 2009.

1st Witness: [Signature]
Print Name: Jason Trager

[Signature]
Sam Newey

2nd Witness: [Signature]
Print Name: Launda Rowlinson

Witnesses as to Sam E. Newey

1st Witness: [Signature]
Print Name: Jason Trager

JSA Realty Holdings, LLC, a Florida limited liability company

By: [Signature]
Jordan Ansbacher,
its Managing Member

2nd Witness: [Signature]
Print Name: Elaine M. Silver

Witnesses as to JSA Realty Holdings, LLC

State of Florida
County of Duval

The foregoing instrument was acknowledged before me this 28th day of December 2009 by Sam Newey () who is personally known to me or () who produced _____ (Florida Driver's License) as identification.

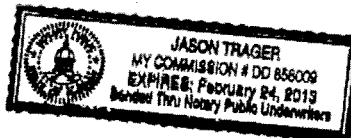
[Signature]
Notary Public, State of Florida
My Commission Expires:



State of Florida
County of Duval

The foregoing instrument was acknowledged before me this 28th day of December 2009 by Jordan Ansbacher, Managing Member of JSA Realty Holdings, LLC, a Florida limited liability company () who is personally known to me or () who produced _____ (Florida Driver's License) as identification.

[Signature]
Notary Public, State of Florida
My Commission Expires:



Prepared by:

Sunshine Title Corporation
8613 Old Kings Road South, Suite 100
Jacksonville, Florida 32217

File Number: STC #101075

SP 13,100

General Warranty Deed

Made this December 21, 2011 A.D. By Gerald Anthony Newman and Steven Forest Crossley, 1350 Hamilton Street, Jacksonville, Florida 32205, hereinafter called the grantor, to Gregory Alan Youngblood and Randia Allen Youngblood, his wife, whose post office address is: 12069 Old St. Augustine Road, Jacksonville, Florida 32258, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Duval County, Florida, viz:

ALL THAT CERTAIN LAND SITUATE, LYING AND BEING IN DUVAL COUNTY, FLORIDA, VIZ:
PART OF GOVERNMENT LOT 9, SECTION 15, TOWNSHIP 4 SOUTH, RANGE 27 EAST, DUVAL COUNTY, FLORIDA,
DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 9, THENCE SOUTH 89° 45' WEST ALONG THE SOUTH
LINE OF SAID LOT 9, 1004.07 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89° 45' WEST
ALONG THE SAID SOUTH LINE OF LOT 9, 99.33 FEET; THENCE NORTH 1° 05' EAST 200 FEET THENCE NORTH 89°
45' EAST, 99.33 FEET; THENCE SOUTH 1° 05' WEST 200 FEET TO THE POINT OF BEGINNING.

Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon.

Parcel ID Number: 157231-0000

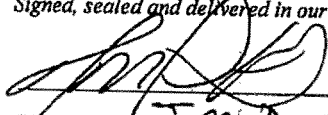
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

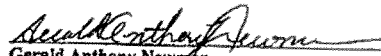
To Have and to Hold, the same in fee simple forever.

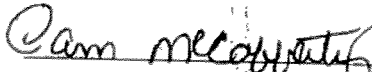
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2011.


In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Printed Name J. M. Danese, III

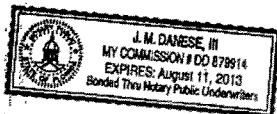

Gerald Anthony Newman (Seal)
Address: 1350 Hamilton Street, Jacksonville, Florida 32205

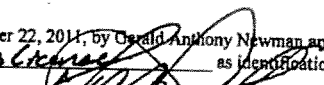

Witness Printed Name PAM McCAFFERY


Steven Forest Crossley (Seal)
Address: 12602 Old St. Augustine Road, Jacksonville, Florida 32258

State of Florida
County of Duval

The foregoing instrument was acknowledged before me this December 22, 2011, by Gerald Anthony Newman and Steven Forest Crossley, who is/are personally known to me or who has produced Driver License as identification.




Notary Public
Print Name: _____
My Commission Expires: _____

Prepared by and return to:
Timothy K. Anderson
Attorney at Law
Law Offices of Timothy K. Anderson
480 Maplewood Drive Suite 5
Jupiter, FL 33458
561-744-8255
File Number: 04-1332.02

Doc# 2004314034
Book: 12068
Pages: 1960 - 1961
Filed & Recorded
10/01/2004 05:20:25 PM
JIM FULLER
CLERK CIRCUIT COURT
DUVAL COUNTY
RECORDING \$ 9.00
TRUST FUND \$ 1.50
DEED DOC STAMP \$ 168.00
REC ADDITIONAL \$ 8.00

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Warranty Deed

This Warranty Deed made this 1st day of September, 2004 between Matheson & Powers Investments, Inc., a Florida corporation whose post office address is 2280 Silver Palm, Boca Raton, FL 33432, grantor, and Gregory A. Youngblood, ~~a single man~~ whose post office address is , grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Duval County, Florida to-wit:

Begin at the Northwest Corner of Lot 16, of Section 15, Township 4 South of Range 27 East, thence run East on lot line 235 feet to a stake; thence South 265 feet to a stake; thence West 235 feet to a stake in lot line; thence North 265 feet to a point beginning, containing 1 and 1/2 acres, more or less, and being a part of said lot 16 in Section 15, Township 4 South of Range 27 East. As recorded in Deed Book 54, Page 102, of the Official Records of Duval County, Florida.

Less and except,

A part of Government Lot 16, Section 15, Township 4 South, Range 27 East, Duval County, Florida, more particularly described as follows: Begin at the Northwest corner of said Government Lot 16; thence North 89° -20'-10" East, 80.0 feet along the North line of said Government Lot 16; thence South 0° -42'-10" West, 100.0 feet; thence South 89° -20'-10" West, 80.0 feet to the West line of said Government Lot 16; thence North 0° -42'-10" East, 100.0 feet along the West line of said Government Lot 16 to the Point of Beginning.

Parcel Identification Number: 157254-0000-9

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2003.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Elizabeth M. Moses
Witness Name: Elizabeth M. Moses
Karen E. Wendzel
Witness Name: Karen E. Wendzel

Matheson & Powers Investments, Inc., a Florida corporation
By: Abraham R. Friedman
Abraham R. Friedman, President

(Corporate Seal)

State of Florida
County of Palm Beach

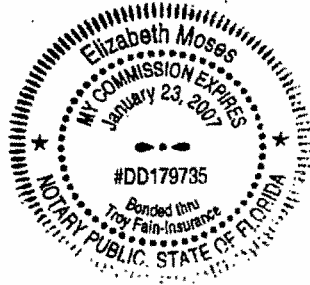
The foregoing instrument was acknowledged before me this 1st day of Sept., 2004 by Abraham R. Friedman, President of Matheson & Powers Investments, Inc., a Florida corporation, on behalf of the corporation. He is personally known to me or has produced a driver's license as identification.

[Notary Seal]

Elizabeth M. Moses
Notary Public

Printed Name: _____

My Commission Expires: _____



THIS INSTRUMENT PREPARED BY:

Danese Title & Abstract Company
3820-2 Williamsburg Park Boulevard
Jacksonville, Florida 32257

RECORD AND RETURN TO:

Greg Youngblood
4134 Cransley Place
Jacksonville, FL 32257

RE PARCEL ID #: 157243-0000
BUYER'S TIN:

Book 10670 Page 1752

Doc# 2002263908
Book: 10670
Pages: 1752 - 1753
Filed & Recorded
09/18/2002 02:18:03 PM
JIM FULLER
CLERK CIRCUIT COURT
DUVAL COUNTY
TRUST FUND \$ 1.50
DEED DOC STAMP \$ 175.00
RECORDING \$ 9.00

TRUSTEE DEED

THIS TRUSTEE DEED is made this 10th day of September, 2002 by Marguerite J. David Mussallem, as Trustee of the Marguerite J. David Mussallem Amended and Restated Revocable Trust Agreement dated December 7, 1992 hereinafter called Grantor, and whose address is , to Greg Youngblood and Randa Youngblood, his wife, hereinafter called Grantee and whose address is 4134 Cransley Place, Jacksonville, FL 32257.

(Wherever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH:

THAT the Grantor, pursuant to the powers and authority granted by the terms and provisions of the aforesaid Trust Agreement, and in consideration of the sum of Ten and NO/100 Dollars and other good and valuable consideration to Grantor in hand paid by Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the Grantee the following described land situate, lying and being in Duval County, Florida, to wit:

Lots 3, 4, 5, 6 and 7, Block 3, Lorraine Terrace, according to plat thereof as recorded in Plat Book 7, page 27, of the current public records of Duval County, Florida. (Excepting therefrom any portion lying within Old St. Augustine Road).

The real property described in this instrument is not the constitutional homestead nor the primary physical residence of the Grantor.

⑦

SUBJECT TO taxes accruing subsequent to December 31, 2001.

SUBJECT TO covenants, restrictions and easements of record, if any; however, this reference thereto shall not operate to reimpose same.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND Grantor hereby covenants to and with said Grantee that Grantor is the duly appointed, qualified and acting Trustee under the aforesaid Trust Agreement, and in all things preliminary to and in and about the sale and conveyance of the property described herein, the terms, conditions and provisions of the aforesaid Trust Agreement, and the laws of the State of Florida have been followed and complied with in all respects, and that the undersigned Grantor has the full power and authority to execute this deed for the uses and purposes herein expressed; and that said land is free of all encumbrances.

②

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
J.M. Danese, Jr.
[Signature]
Alexis Lloyd

[Signature]
Marguerite J. David Mussallem, Trustee

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing instrument was acknowledged before me this 10th day of September, 2002 by Marguerite J. David Mussallem, as Trustee of the Marguerite J. David Mussallem Amended and Restated Revocable Trust Agreement dated December 7, 1992. She is personally known to me and has produced a valid Florida driver's license as identification.

Notary Public, State and County Aforesaid

[Signature]
Notary Signature

(Title or Rank)

Notary Printed Signature

(Serial No., if any)



GENERAL WARRANTY DEED

Return to Grantee

Made this March 5, 2014 A.D. By Greg Youngblood, whose mailing address is P.O. Box 57037, Jacksonville, Florida 32241, as sole owner, hereinafter called the grantor, to Kyriakos Protos Dokimos Holdings, LLC, whose mailing address is: 5440 Riverwood Rd North, Saint Augustine, Florida 32092, hereinafter called the grantee:

(Within this instrument, the terms "grantor" & "grantee" shall include all parties to this instrument and their heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Fifteen Thousand Dollars, (\$15,000.00), receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Duval County, Florida, included in this legal description:

Parcel ID Number: 157224-0000

PART OF GOVERNMENT LOT 9, SECTION 15, TOWNSHIP 4 SOUTH, RANGE 27 EAST, DUVAL COUNTY, FLORIDA, BEGINNING AT THE NORTHWEST CORNER OF THE SOUTH 1/2 OF GOVERNMENT LOT 9 RUNNING A DISTANCE OF 251.6 FEET SOUTH TO A POINT, THENCE EAST A DISTANCE OF 208.7 FEET TO A POINT, THENCE NORTH 251.7 FEET TO A POINT, THENCE WEST 208.7 FEET TO THE POINT OF BEGINNING.

Said property is not the homestead of the Grantor under the laws and constitution of the State of Florida in that neither Grantor nor any members of the household of Grantor reside thereon.

Together with all the tenements, hereditaments, and appurtenances thereto belonging or in anywise appertaining,

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantee is lawfully seized of said land in fee simple, that the grantor has right and lawful authority to sell and convey said land, that grantor hereby fully warrants the title to said land and will the same against lawful claims of all persons whomsoever, and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2013.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year above written.

Signed, sealed and delivered in our presence:

WITNESS the hands and seal of said Grantor this 5th day of March 2014.

Signed Angie Bukab

Signed Julie A Howard

Printed Angie Bukab

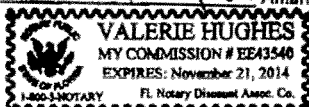
Printed Julie A Howard

Grantor [Signature]
Greg Youngblood
Address P.O. Box 57037, Jacksonville, Florida 32241

On 3/5/14 before me, Valerie Hughes, personally appeared Greg Youngblood, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument. WITNESS my hand and official seal.

Signature Valerie Hughes Affiant Known Unknown ID Produced

Prepared By: Gregory Youngblood



QUIT CLAIM DEED

THIS QUIT CLAIM DEED, executed this 18th day of September, 2008, by

Grantor, Anna U. Astakhova, a married woman

Whose post office address is 11250-15 Old St. Augustine Rd. suite 274, Jacksonville, FL 32257

first party, to:

Grantee, Christian V. Withington a married man

whose post office address is: 11250-15 Old St. Augustine Rd. suite 274, Jacksonville, FL 32257

second party:

WITNESSETH, That the said first party, for good consideration and for the sum of Ten Dollars (\$10.00) paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right title, interest and claim in which the said first party has in and to the following described parcel of land, and improvements and appurtenances thereto in the County of Duval, State of Florida to wit:

ALL THAT CERTAIN PARCEL OF LAND SITUATE IN THE COUNTY OF DUVAL, STATE OF FLORIDA, BEING PART OF GOVERNMENT LOT 9, SECTION 18, TOWNSHIP 4 SOUTH, RANGE 27 EAST, COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 9, RUN THENCE ALONG SOUTH LINE OF SAID LOT 9, SOUTH 89 DEGREES 45 MINUTES WEST, A DISTANCE OF 784.74 FEET TO AN IRON PIPE FOR A POINT OF BEGINNING; THENCE ALONG THE SOUTH LINE OF SAID LOT 9, 89 DEGREES 45 MINUTES WEST, 159.33; THENCE NORTH 1 DEGREE 05 MINUTES EAST, A DISTANCE OF 671.52 FEET; THENCE NORTH 89 DEGREES 20 MINUTES EAST, A DISTANCE OF 169.33 FEET; THENCE SOUTH 1 DEGREE 05 MINUTES WEST A DISTANCE OF 672.61 FEET TO THE POINT OF BEGINNING.

A/K/A 5047 COURTLAND OAKS STREET, JACKSONVILLE, FL 32258

IN WITNESS WHEREOF, The said party of the first part has signed and sealed these presents this 18 day of September, 2008. Signed sealed and delivered in presence of:

Marilyn T. Rourke
Signature of Witness

Marilyn T. Rourke
Printed name of Witness

Anna U. Astakhova
Signature of First Party

Anna U. Astakhova
Printed name of First Party

Marcia S. Sachs
Signature of Witness

Marcia S. Sachs
Printed name of Witness

State of Florida)

County of Duval)

On 18 of September, 2008
before me,

personally appeared Anna U. Astakhova said party of the first part,
personally known to me (or proved to me on the basis of satisfactory evidence) and executed the instrument.

WITNESS my hand and official seal

Marcia S. Sachs
Signature of Notary



This instrument prepared by and return to:
Christian V. Withington
11250-15 Old St Augustine Rd Suite 274
Jacksonville, Florida 32257 904 910 0297

Prepared by:
Tanya L. Griffin
Premier Title Group, Inc.
3886 Atlantic Boulevard
Jacksonville, Florida 32207

File Number: 32140

General Warranty Deed

Made this January 18, 2007 A.D. By ELIZABETH MICHELLE COUNTRYMAN, N/K/A ELIZABETH M. BLAIR, A SINGLE WOMAN, whose address is: 12504 ARROWLEAF LANE Jacksonville, Florida 32225, hereinafter called the grantor, to MARVIN WEST AND SYLEAN WEST, HUSBAND AND WIFE, whose post office address is: 8942 ELIZABETH FALLS DRIVE, JACKSONVILLE, FLORIDA 32257, hereinafter called the grantees:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Duval County, Florida, viz:

PART OF GOVERNMENT LOT 9, SECTION 15, TOWNSHIP 4 SOUTH, RANGE 27 EAST, DUVAL COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 9, THENCE SOUTH 89° 45' WEST ALONG THE SOUTH LINE OF SAID LOT 9, 944.07 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89° 45' WEST ALONG THE SAID SOUTH LINE OF LOT 9, 60.0 FEET; THENCE NORTH 1° 05' EAST 200 FEET; THENCE SOUTH 89° 45' WEST 99.33 FEET; THENCE NORTH 1° 05' EAST 470.43 FEET; THENCE NORTH 89° 45' EAST 159.33 FEET; THENCE SOUTH 1° 05' WEST 677.52 FEET TO POINT OF BEGINNING.

Parcel ID Number: 157231-0010

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

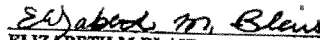
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2007

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:



Witness Printed Name TANYA L. GRIFFIN



ELIZABETH M BLAIR (Seal)
Address: 12504 ARROWLEAF LANE, JACKSONVILLE, FL 32225

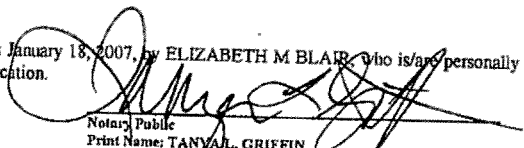


Witness Printed Name DONNA PAGE

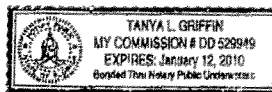
(Seal)
Address:

State of FLORIDA
County of DUVAL

The foregoing instrument was acknowledged before me this January 18, 2007, by ELIZABETH M BLAIR, who is/are personally known to me or who has produced DRIVERS LICENSE as identification.



Notary Public
Print Name: TANYA L. GRIFFIN
My Commission Expires:



①
10.
490

Prepared by and Return to:
Ansbacher & Schneider, P.A.
5150 Belfort Road, Building 100
Jacksonville, Florida 32256

SPECIAL WARRANTY DEED

(Charitable Donation)

1. Grantor's name and address is:

Sam Newey, as to his undivided one-half interest
720 Oaks Field Road
Jacksonville, Florida 32211

And

JSA Realty Holdings, LLC, a Florida limited liability company, as to its undivided
one-half interest
3733 University Boulevard West, Suite 115 A
Jacksonville, Florida 32217

2. Grantee's name and address is:

St. Justin The Martyr Orthodox Church, Inc., a Florida non profit corporation
12460 Old St. Augustine Road
Jacksonville, Florida 32258

Grantee's tax identification number is _____.

The terms Grantor and Grantee shall be non-gender specific, singular or plural, as the
context permits or requires, and include heirs, personal representatives, successors or
assigns where applicable and permitted.

3. The real property ("Property") conveyed hereby is described as follows:

See Exhibit A attached hereto and by reference made a part hereof;

together with all tenements, hereditaments, easements and appurtenances belonging to
or benefiting such property.

The Property Appraiser's Parcel Identification Numbers: 157233-0000 and 157237-0000.

4. Grantor as a charitable donation and for good and valuable consideration plus the sum of
\$10.00 the receipt whereof is hereby acknowledged, hereby grants, bargains, sells and
conveys to Grantee the Property to have and to hold in fee simple forever.

5. Grantor fully warrants title to the Property and will defend the same against the lawful
claims of all persons whomsoever claiming by, through or under Grantor, but not
otherwise except for (i) taxes subsequent to December 31, 2009, and (ii) covenants,
reservations, restrictions and easements of record, if any, with reference hereto not
serving to reimpose the same.

6. Grantor represents and warrants the Property does not constitute nor is adjacent to the
homestead or residence of Grantor or a member of Grantor's family.

EXHIBIT A

Part of Government Lot 9, Section 15, Township 4 South, Range 27 East, Duval County, Florida. Begin at an iron pipe in East line said Lot 9, North 1 degree 05 minutes East, 208 feet from Southeast corner said Lot 9, run thence along East line said Lot 9, North 1 degrees 05 minutes East, 470 feet; thence South 89 degrees 20 minutes West, 626.7 feet; thence South 1 degree 05 minutes, West, 47.8 feet; thence North 89 degrees 45 minutes East, 417.4 feet; thence South 1 degree 05 minutes West, 417.4 feet; thence North 89 degrees 45 minutes East, 208.7 feet to the POINT OF BEGINNING.

AND

Part of Government Lot 9, Section 15, Township 4 South, Range 27 East, Duval County, Florida. Commence at Southeast corner of said Lot 9; run thence South 89 degrees 45 minutes West a distance of 208 feet; thence run North 1 degrees 05 minutes East a distance of 208.7 feet to an iron pipe for a Place of Beginning; run thence North 1 degree 05 minutes East a distance of 417.4 feet; thence South 89 degrees 45 minutes West a distance of 208.7 feet; thence South 1 degree 05 minutes West 417.4 feet; thence North 89 degrees 45 minutes East a distance of 208.7 feet to the PLACE OF BEGINNING.

LESS AND EXCEPT

A portion of Government Lot 9, Section 15, Township 4 South, Range 27 East, Duval County, Florida and being more particularly described as follows: Commence at the Southeast corner of Lot 37 as shown on the plat of Grand Lakes, as recorded in Plat Book 55, Pages 4 through 4F inclusive of the current public records of said county; thence South 88 degrees 57 minutes 35 seconds West along the Southerly line of said Grand Lakes, also being the Northerly line of the South 1/2 of said Government Lot 9, 209.18 feet to the Point of Beginning; thence continue South 88 degrees 57 minutes 35 seconds West along last said line, 417.52 feet; thence South 00 degrees 39 minutes 35 seconds West 47.80 feet; thence North 89 degrees 22 minutes 35 seconds East 417.40 feet; thence North 00 degrees 42 minutes 35 seconds East 50.84 feet to the Point of Beginning.

ALSO LESS AND EXCEPT

A PORTION OF GOVERNMENT LOT 9, SECTION 15, TOWNSHIP 4 SOUTH, RANGE 27 EAST, DUVAL COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT THE SOUTHEAST CORNER OF LOT 37, AS SHOWN ON MAP OF GRAND LAKES, AS RECORDED IN PLAT BOOK 55 PAGES 4 THRU 4F INCLUSIVE OF THE CURRENT PUBLIC RECORDS OF SAID COUNTY, THENCE SOUTH 88 DEGREES 57 MINUTES 35 SECONDS WEST ALONG SOUTHERLY LINE OF SAID GRAND LAKES, ALSO BEING THE NORTHERLY LINE OF THE SOUTH 1/2 OF SAID GOVERNMENT LOT 9, 209.18 FEET, THENCE SOUTH 00 DEGREES 42 MINUTES 35 SECONDS WEST, 50.84 FEET; THENCE NORTH 89 DEGREES 22 MINUTES 35 SECONDS EAST, 210.11 FEET; THENCE NORTH 00 DEGREES 21 MINUTES 09 SECONDS WEST, 52.35 FEET TO THE POINT OF BEGINNING.

Prepared by and Return to:
Ansbacher & Schneider, P.A.
5150 Belfort Road, Building 100
Jacksonville, Florida 32256

SPECIAL WARRANTY DEED

(Charitable Donation)

1. Grantor's name and address is:

Sam Newey, as to his undivided one-half interest
720 Oaks Field Road
Jacksonville, Florida 32211

And

JSA Realty Holdings, LLC, a Florida limited liability company, as to its undivided
one-half interest
3733 University Boulevard West, Suite 115 A
Jacksonville, Florida 32217

2. Grantee's name and address is:

St. Justin The Martyr Orthodox Church, Inc., a Florida non profit corporation
12460 Old St. Augustine Road
Jacksonville, Florida 32258

Grantee's tax identification number is _____

The terms Grantor and Grantee shall be non-gender specific, singular or plural, as the
context permits or requires, and include heirs, personal representatives, successors or
assigns where applicable and permitted.

3. The real property ("Property") conveyed hereby is described as follows:

See **Exhibit A** attached hereto and by reference made a part hereof;

together with all tenements, hereditaments, easements and appurtenances belonging to
or benefiting such property.

The Property Appraiser's Parcel Identification Numbers: 157233-0000 and 157237-0000.

4. Grantor as a charitable donation and for good and valuable consideration plus the sum of
\$10.00 the receipt whereof is hereby acknowledged, hereby grants, bargains, sells and
conveys to Grantee the Property to have and to hold in fee simple forever.
5. Grantor fully warrants title to the Property and will defend the same against the lawful
claims of all persons whomsoever claiming by, through or under Grantor, but not
otherwise except for (i) taxes subsequent to December 31, 2009, and (ii) covenants,
reservations, restrictions and easements of record, if any, with reference hereto not
serving to reimpose the same.
6. Grantor represents and warrants the Property does not constitute nor is adjacent to the
homestead or residence of Grantor or a member of Grantor's family.

Executed as of December 28, 2009.

1st Witness: [Signature]
Print Name: Jason Trager

[Signature]
Sam Newey

2nd Witness: [Signature]
Print Name: Levinda Rowlinson

Witnesses as to Sam E. Newey

1st Witness: [Signature]
Print Name: Jason Trager

JSA Realty Holdings, LLC, a Florida limited liability company

By: [Signature]
Jordan Ansbacher,
its Managing Member

2nd Witness: [Signature]
Print Name: Elaine M. Silver

Witnesses as to JSA Realty Holdings, LLC

State of Florida
County of Duval

The foregoing instrument was acknowledged before me this 28th day of December 2009 by Sam Newey (who is personally known to me or () who produced _____ (Florida Driver's License) as identification.

[Signature]
Notary Public, State of Florida
My Commission Expires:



State of Florida
County of Duval

The foregoing instrument was acknowledged before me this 28th day of December 2009 by Jordan Ansbacher, Managing Member of JSA Realty Holdings, LLC, a Florida limited liability company (who is personally known to me or () who produced _____ (Florida Driver's License) as identification.

[Signature]
Notary Public, State of Florida
My Commission Expires:



EXHIBIT A

Part of Government Lot 9, Section 15, Township 4 South, Range 27 East, Duval County, Florida. Begin at an iron pipe in East line said Lot 9, North 1 degree 05 minutes East, 208 feet from Southeast corner said Lot 9, run thence along East line said Lot 9, North 1 degrees 05 minutes East, 470 feet; thence South 89 degrees 20 minutes West, 626.7 feet; thence South 1 degree 05 minutes, West, 47.8 feet; thence North 89 degrees 45 minutes East, 417.4 feet; thence South 1 degree 05 minutes West, 417.4 feet; thence North 89 degrees 45 minutes East, 208.7 feet to the POINT OF BEGINNING.

AND

Part of Government Lot 9, Section 15, Township 4 South, Range 27 East, Duval County, Florida. Commence at Southeast corner of said Lot 9; run thence South 89 degrees 45 minutes West a distance of 208 feet; thence run North 1 degrees 05 minutes East a distance of 208.7 feet to an iron pipe for a Place of Beginning; run thence North 1 degree 05 minutes East a distance of 417.4 feet; thence South 89 degrees 45 minutes West a distance of 208.7 feet; thence South 1 degree 05 minutes West 417.4 feet; thence North 89 degrees 45 minutes East a distance of 208.7 feet to the PLACE OF BEGINNING.

LESS AND EXCEPT

A portion of Government Lot 9, Section 15, Township 4 South, Range 27 East, Duval County, Florida and being more particularly described as follows:
Commence at the Southeast corner of Lot 37 as shown on the plat of Grand Lakes, as recorded in Plat Book 55, Pages 4 through 4F inclusive of the current public records of said county; thence South 88 degrees 57 minutes 35 seconds West along the Southerly line of said Grand Lakes, also being the Northerly line of the South 1/2 of said Government Lot 9, 209.18 feet to the Point of Beginning; thence continue South 88 degrees 57 minutes 35 seconds West along last said line, 417.52 feet; thence South 00 degrees 39 minutes 35 seconds West 47.80 feet; thence North 89 degrees 22 minutes 35 seconds East 417.40 feet; thence North 00 degrees 42 minutes 35 seconds East 50.84 feet to the Point of Beginning.

ALSO LESS AND EXCEPT

A PORTION OF GOVERNMENT LOT 9, SECTION 15, TOWNSHIP 4 SOUTH, RANGE 27 EAST, DUVAL COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT THE SOUTHEAST CORNER OF LOT 37, AS SHOWN ON MAP OF GRAND LAKES, AS RECORDED IN PLAT BOOK 55 PAGES 4 THRU 4F INCLUSIVE OF THE CURRENT PUBLIC RECORDS OF SAID COUNTY, THENCE SOUTH 88 DEGREES 57 MINUTES 35 SECONDS WEST ALONG SOUTHERLY LINE OF SAID GRAND LAKES, ALSO BEING THE NORTHERLY LINE OF THE SOUTH 1/2 OF SAID GOVERNMENT LOT 9, 209.18 FEET, THENCE SOUTH 00 DEGREES 42 MINUTES 35 SECONDS WEST, 50.84 FEET; THENCE NORTH 89 DEGREES 22 MINUTES 35 SECONDS EAST, 210.11 FEET; THENCE NORTH 00 DEGREES 21 MINUTES 09 SECONDS WEST, 52.35 FEET TO THE POINT OF BEGINNING.

This Instrument Prepared by and Return to:
Desire Martinez
Shore to Shore Title, Inc.
7000 W. Palmetto Park Road, Suite 300
Boca Raton, FL 33433
Property Appraisers Parcel ID #: 157228-0000

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS SPECIAL WARRANTY DEED, made and executed the 11 day of April, 2012, by TRUCAP REO CORP., whose post office address is P.O. Box 830, Armonk, NY 10504, herein called the Grantor(s), to St. Justin the Martyr Orthodox Church Inc. a Florida Non-Profit Corp., whose address is 12460 Old St. Augustine Road, Jacksonville, FL 32258, hereinafter called the Grantee(s):

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in DUVAL County, State of Florida, viz:

The following described land, situate, lying and being in the County of Duval, State of Florida, to-wit: That part of Government Lot 9, Section 15, Township 4 South, Range 27 East, described as: Beginning at the Southeast corner of Lot 9, Section 15, Township 4 South, Range 27 East, run West 50 feet to a point; thence North 208 feet to a point; thence East 50 feet to a point; thence South 208 feet to the Point of Beginning.

Subject to easements, restrictions and reservations of record and to taxes for the year 2012 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantees that except as above noted, at the time of delivery of this Special Warranty Deed the premises were free of all encumbrances made by them, and they will warrant and defend the same against the lawful claims of all persons claiming by, through or under grantor.



Above Space Reserved for Recording

[If required by your jurisdiction, list above the name & address of: 1) where to return this form; 2) preparer; 3) party requesting recording.]

Quitclaim Deed

Date of this Document: January 5, 2007

Reference Number of Any Related Documents: _____

Grantor:

Name James Scott, Jr.
Street Address 5049 Courtland Oaks Street
City/State/Zip Jacksonville, FL 32258

Grantee:

Name Harvey L. Wanton + CATHERINE M. WANTON
Street Address 1830 N.W. 186th Street
City/State/Zip Miami Gardens, FL 33056-3313

Abbreviated Legal Description (i.e., lot, block, plat or section, township, range, quarter/quarter or unit, building and condo name): 1310-431, O/R BK 1835-361

Assessor's Property Tax Parcel/Account Number(s): 157227-0000

THIS QUITCLAIM DEED, executed this 5th day of January, 2007, by first party, Grantor, JAMES SCOTT, JR. whose mailing address is 5049 COURTLAND OAKS ST JACKSONVILLE, FL 32258, to second party, Grantee, HARVEY L. WANTON CATHERINE M. WANTON whose mailing address is 1830 N.W. 186th ST MIAMI GARDENS, FL 33056-3313 ..

WITNESSETH that the said first party, for good consideration and for the sum of one hundred Dollars (\$ 100.00) paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quitclaim unto the said second party forever, all the right, title, interest and claim,

which the said first party has in and to the following described parcel of land, and improvements and appurtenances thereto in the County of DUVAL State of FLORIDA
to wit: 1316-431 O/R BK 1835-361 (EX OR
BK 3059-656) James Scott Jr OR
BK 6473-1389 Hells Property - ~~Local~~ PPT LOT 9 RECD D
15-45-273

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first written above. Signed, sealed and delivered in the presence of:

Signature of Witness [Signature]
Print Name of Witness Carolyn B Reynolds
Signature of Witness [Signature]
Print Name of Witness Tranthe Gordon
Signature of Grantor [Signature]
Print Name of Grantor James Scott, Jr.

State of FL
County of Volusia

On 1/05/2006 before me, James Scott
appeared FL DRY LIC, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal
[Signature]
Signature of Notary

Affiant Known Produced ID
Type of ID FL DRY LIC
(Seal)

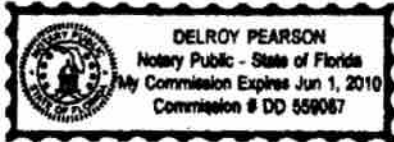


EXHIBIT B

Agent Authorization

Date: 4-10-2014

City of Jacksonville
Planning and Development Department
214 North Hogan Street, Ed Ball Building, Suite 300
Jacksonville, Florida 32202

Re: Agent Authorization for the following site location:

RE# 157231 0010

Gentleman:

You are hereby advised that the undersigned is the owner of the property described in **Exhibit 1** attached hereto. Said owner hereby authorizes and empowers Paul M. Harden to act as agent to file application(s) for application for rezoning the above referenced property and in connection with such authorization to file such applications, papers, documents, requests and other matters necessary for such requested change.

Marie West

(Owner's Signature)

owner.

(Title)

N/A.

(Company Name)

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing affidavit was sworn and subscribed before me this 10 day of April (month), 2014 (year) by Marie West, who is personally known to me or has produced Florida Driver Lic as identification.

[Signature]
(Notary Signature)

Page 2 of 2

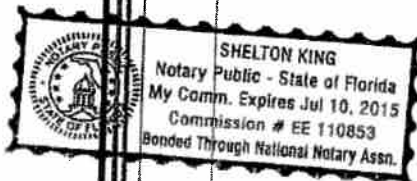


EXHIBIT B

Agent Authorization

Date: Apr. 19, 2014

City of Jacksonville
Planning and Development Department
214 North Hogan Street, Ed Ball Building, Suite 300
Jacksonville, Florida 32202

Re: Agent Authorization for the following site location:

RE# '15 7 23 7 0000, 15 7 23 3 0040 and 15 7 22 8 0000

Gentleman:

You are hereby advised that the undersigned is the owner of the property described in Exhibit 1 attached hereto. Said owner hereby authorizes and empowers Paul M. Harden to act as agent to file application(s) for rezoning of the above referenced property and in connection with such authorization to file such applications, papers, documents, requests and other matters necessary for such requested change.

James Marth
(Owner's Signature)

Senior Warden
(Title)

St. Justin Martyr Orthodox Church
(Company Name)

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing affidavit was sworn and subscribed before me this 9th day of April (month), 2014 (year) by James Marth who is personally known to me or has produced _____ as identification.

Patricia G. Purdy
(Notary Signature)



PATRICIA G. PURDY
MY COMMISSION # DD 993523
EXPIRES: September 19, 2014
Bonded Thru Budget Notary Services

EXHIBIT B

Agent Authorization

Date: 04-09-14

City of Jacksonville
Planning and Development Department
214 North Hogan Street, Ed Ball Building, Suite 300
Jacksonville, Florida 32202

Re: Agent Authorization for the following site location:

RE# 157227 0000

Gentleman:

You are hereby advised that the undersigned is the owner of the property described in **Exhibit I** attached hereto. Said owner hereby authorizes and empowers Paul M. Harden to act as agent to file application(s) for Rezoning the above referenced property and in connection with such authorization to file such applications, papers, documents, requests and other matters necessary for such requested change.

Doctory B. Warton

(Owner's Signature)

Owner

(Title)

Owner

(Company Name)

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing affidavit was sworn and subscribed before me this 9th day of April (month), 2014 (year) by Doctory B. Warton who is personally known to me or has produced _____ as identification.

Valerie L. Burts
(Notary Signature)

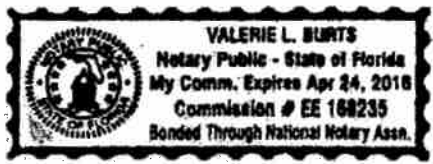


EXHIBIT B

Agent Authorization

Date: 5/5/14

City of Jacksonville
Planning and Development Department
214 North Hogan Street, Ed Ball Building, Suite 300
Jacksonville, Florida 32202

Re: Agent Authorization for the following site location:

RE# 157230-0000

Gentleman:

You are hereby advised that the undersigned is the owner of the property described in **Exhibit 1** attached hereto. Said owner hereby authorizes and empowers Paul M. Harden to act as agent to file application(s) for REZONING the above referenced property and in connection with such authorization to file such applications, papers, documents, requests and other matters necessary for such requested change.

[Signature]
(Owner's Signature)

(Title)

(Company Name)

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing affidavit was sworn and subscribed before me this 5 day of May (month), 2014 (year) by Christian Withington who is personally known to me or has produced Drivers license as identification.

[Signature]
(Notary Signature)

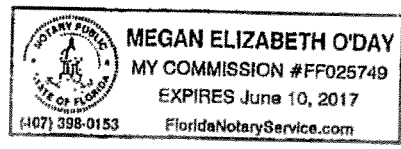


EXHIBIT B

Agent Authorization

Date: 4-9-2014

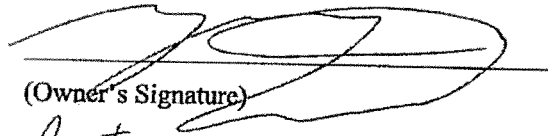
City of Jacksonville
Planning and Development Department
214 North Hogan Street, Ed Ball Building, Suite 300
Jacksonville, Florida 32202

Re: Agent Authorization for the following site location:

RE# 157224-0000

Gentleman:

You are hereby advised that the undersigned is the owner of the property described in **Exhibit 1** attached hereto. Said owner hereby authorizes and empowers Paul M. Harden to act as agent to file application(s) for _____ the above referenced property and in connection with such authorization to file such applications, papers, documents, requests and other matters necessary for such requested change.


(Owner's Signature)

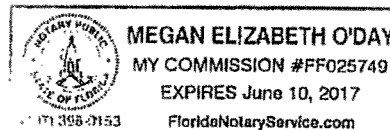
Agent
(Title)

Kiriakos Protos Dokimos LLC
(Company Name)

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing affidavit was sworn and subscribed before me this 9 day of April (month), 2014 (year) by Gregory Youngblood, who is personally known to me or has produced Drivers license as identification.


(Notary Signature)



Page _____ of _____

EXHIBIT B

Agent Authorization

Date: 4-9-2014

City of Jacksonville
Planning and Development Department
214 North Hogan Street, Ed Ball Building, Suite 300
Jacksonville, Florida 32202

Re: Agent Authorization for the following site location:

RE# 157234-0000, 157254-0010, 157231-0000, 157254-0000, 157263-0000

Gentleman:

You are hereby advised that the undersigned is the owner of the property described in **Exhibit 1** attached hereto. Said owner hereby authorizes and empowers Paul M. Harden to act as agent to file application(s) for _____ the above referenced property and in connection with such authorization to file such applications, papers, documents, requests and other matters necessary for such requested change.



(Owner's Signature)

owner

(Title)

(Company Name)

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing affidavit was sworn and subscribed before me this 9 day of April (month), 2014 (year) by Gregory Youngblood who is personally known to me or has produced Drivers license as identification.


(Notary Signature)

Page _____ of _____

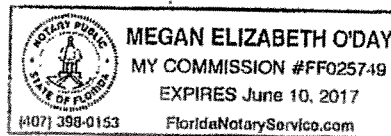


EXHIBIT A

Property Ownership Affidavit

Date: 4-10-2014.

City of Jacksonville
City Council / Planning and Development Department
117 West Duval Street, 4th Floor / 214 North Hogan Street, Old Ball Building, Suite 300
Jacksonville, Florida 32202

Re: Ownership Certification

Gentleman:

I, Marvin West, Owner
(name and title), hereby certify that I am the Owner of the
property described in the attached legal description, Exhibit 1 in connection with filing
application(s) for application for rezoning
submitted to the Jacksonville Planning and Development Department.

Marvin West

(Owner's Signature)

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing affidavit was sworn and subscribed before me this 10 day of April
(month), 2014 (year) by Marvin West who is personally
known to me or has produced Florida Driver Lic as identification.

Shelton King

(Notary Signature)

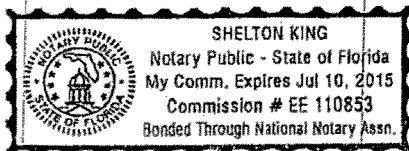


EXHIBIT A

Property Ownership Affidavit

Date: April 9, 2014

City of Jacksonville
City Council / Planning and Development Department
117 West Duval Street, 4th Floor / 214 North Hogan Street, Ed Ball Building, Suite 300
Jacksonville, Florida 32202

Re: Ownership Certification

Gentleman:

I, James Marth / of St. Justin the Martyr
(name and title), hereby certify that I am the Owner of the
property described in the attached legal description, Exhibit 1 in connection with filing
application(s) for rezoning of parcels 157237 0000, 157233 0000
submitted to the Jacksonville Planning and Development Department. and 157228 0000

James Marth
(Owner's Signature)

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing affidavit was sworn and subscribed before me this 9th day of April
(month), 2014 (year) by James Marth who is personally
known to me or has produced _____ as identification.

Patricia G. Purdy
(Notary Signature)



PATRICIA G. PURDY
MY COMMISSION # DD 993523
EXPIRES: September 19, 2014
Bonded Thru Budget Notary Services

EXHIBIT A

Property Ownership Affidavit

Date: 04-09-14

City of Jacksonville
City Council / Planning and Development Department
117 West Duval Street, 4th Floor / 214 North Hogan Street, Ed Ball Building, Suite 300
Jacksonville, Florida 32202

Re: Ownership Certification

Gentleman:

I, Dorothy B Wanton, hereby certify that I am the Owner of the property described in the attached legal description, **Exhibit I** in connection with filing application(s) for Rezoning submitted to the Jacksonville Planning and Development Department.

Dorothy B Wanton
(Owner's Signature)

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing affidavit was sworn and subscribed before me this 9th day of April (month), 2014 (year) by Dorothy B. Wanton who is personally known to me or has produced _____ as identification.

Valerie L. Burts
(Notary Signature)

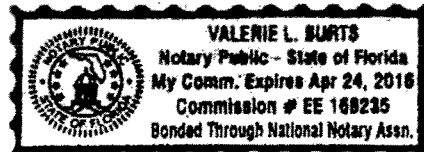


EXHIBIT A

Property Ownership Affidavit

Date: 5/5/14

City of Jacksonville
City Council / Planning and Development Department
117 West Duval Street, 4th Floor / 214 North Hogan Street, Ed Ball Building, Suite 300
Jacksonville, Florida 32202

Re: Ownership Certification

Gentleman:

I, Christian Withington (name and title), hereby certify that I am the Owner of the property described in the attached legal description, **Exhibit 1** in connection with filing application(s) for REZONING submitted to the Jacksonville Planning and Development Department.

[Signature]
(Owner's Signature)

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing affidavit was sworn and subscribed before me this 5 day of May (month), 2014 (year) by Christian Withington who is personally known to me or has produced Drivers license as identification.

[Signature]
(Notary Signature)

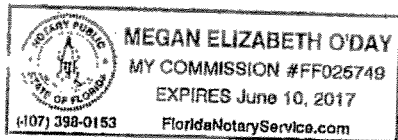


EXHIBIT A

Property Ownership Affidavit


Date: 4-9-2014

City of Jacksonville
City Council / Planning and Development Department
117 West Duval Street, 4th Floor / 214 North Hogan Street, Ed Ball Building, Suite 300
Jacksonville, Florida 32202

Re: Ownership Certification


Gentleman:

I, Gregory Youngblood, Agent (name and title), hereby certify that I am the Owner of the property described in the attached legal description, **Exhibit 1** in connection with filing application(s) for Kiriakos Potos Dakinos LLC submitted to the Jacksonville Planning and Development Department.


(Owner's Signature)

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing affidavit was sworn and subscribed before me this 9 day of April (month), 2014 (year) by Gregory Youngblood who is personally known to me or has produced Drivers license as identification.


(Notary Signature)

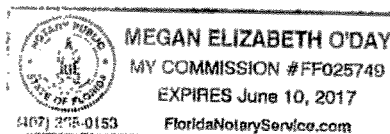


EXHIBIT A

Property Ownership Affidavit

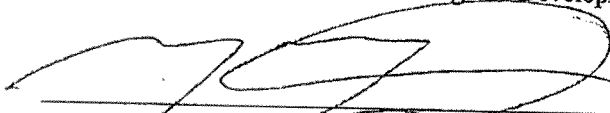
Date: 4-9-2014

City of Jacksonville
City Council / Planning and Development Department
117 West Duval Street, 4th Floor / 214 North Hogan Street, Ed Ball Building, Suite 300
Jacksonville, Florida 32202

Re: Ownership Certification

Gentleman:

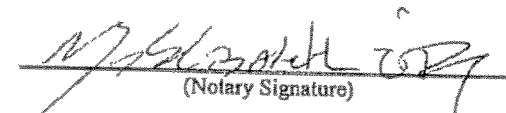
I, Gregory Youngblood
(name and title), hereby certify that I am the Owner of the
property described in the attached legal description, **Exhibit 1** in connection with filing
application(s) for _____
submitted to the Jacksonville Planning and Development Department.



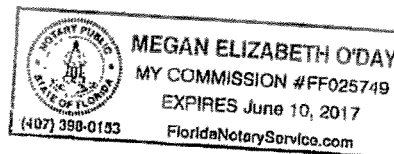
(Owner's Signature)

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing affidavit was sworn and subscribed before me this 9 day of April
(month), 2014 (year) by Gregory Youngblood who is personally
known to me or has produced Drivers license as identification.



(Notary Signature)



ORDINANCE

Legal Description

A PORTION OF SECTION 15, TOWNSHIP 4 SOUTH, RANGE 27 EAST, CITY OF JACKSONVILLE, FLORIDA.
BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

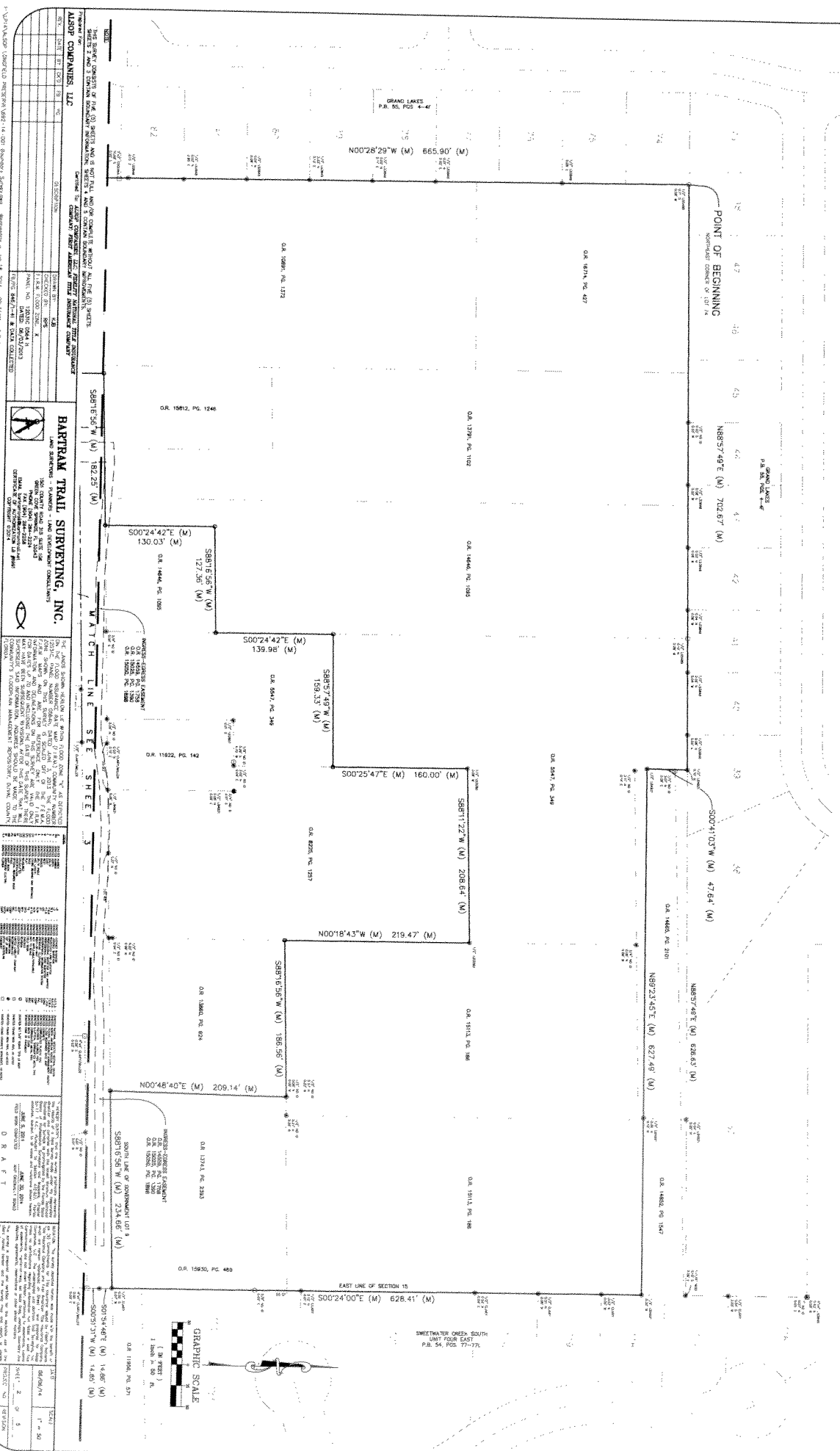
COMMENCING AT THE SOUTHEAST CORNER OF LOT 9, SECTION 15, TOWNSHIP 4 SOUTH, RANGE 27 EAST; THENCE SOUTH 88°47'19" WEST, A DISTANCE OF 234.30 FEET; THENCE NORTH 01°14'48" EAST, A DISTANCE OF 208.84 FEET; THENCE SOUTH 88°47'19" WEST, A DISTANCE OF 186.50 FEET; THENCE NORTH 00°07'19" EAST, A DISTANCE OF 219.66 FEET; THENCE SOUTH 88°47'19" WEST, A DISTANCE OF 208.70 FEET; THENCE SOUTH 00°11'24" WEST, A DISTANCE OF 278.50 FEET; THENCE SOUTH 88°47'19" WEST, A DISTANCE OF 54.60 FEET; THENCE SOUTH 00°07'19" WEST, A DISTANCE OF 148.89 FEET; THENCE SOUTH 88°49'01" WEST, A DISTANCE OF 397.03 FEET; THENCE SOUTH 00°40'52" WEST, A DISTANCE OF 445.71 FEET; THENCE NORTH 66°29'54" WEST, A DISTANCE OF 250.00 FEET; THENCE NORTH 00°04'22" EAST, A DISTANCE OF 1017.15 FEET; THENCE SOUTH 89°38'58" EAST, A DISTANCE OF 208.70 FEET; THENCE NORTH 88°49'01" EAST, A DISTANCE OF 159.33 FEET; THENCE NORTH 88°24'01" EAST, A DISTANCE OF 159.33 FEET; THENCE NORTH 88°22'19" EAST, A DISTANCE OF 159.04 FEET; THENCE SOUTH 00°16'33" EAST, A DISTANCE OF 47.66 FEET; THENCE NORTH 88°49'51" EAST, A DISTANCE OF 626.70 FEET; THENCE SOUTH 00°14'32" WEST, A DISTANCE OF 625.67 FEET TO THE POINT OF BEGINNING OF PARCEL 1 HEREIN DESCRIBED.

CONTAINING 807,956.92 SQUARE FEET, 18.55 ACRES, MORE OR LESS.

SAID LANDS SITUATED, LYING AND BEING IN DUVAL COUNTY, FLORIDA.

BOUNDARY SURVEY

OF A TRACT OF LAND BEING THE SAME AS THOSE CERTAIN PROPERTIES AS RECORDED IN OFFICIAL RECORDS BOOK 16714, PAGE 423; OFFICIAL RECORDS BOOK 10891, PAGE 1372; OFFICIAL RECORDS BOOK 10935, PAGE 2404; OFFICIAL RECORDS BOOK 12068, PAGE 1960; OFFICIAL RECORDS BOOK 10670, PAGE 1752; OFFICIAL RECORDS BOOK 15812, PAGE 1246; OFFICIAL RECORDS BOOK 13791, PAGE 1102; OFFICIAL RECORDS BOOK 15113, PAGE 186; OFFICIAL RECORDS BOOK 13743, PAGE 2393 AND OFFICIAL RECORDS BOOK 15930, PAGE 469, ALL OF THE PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, ALONG WITH A PORTION OF THOSE CERTAIN PROPERTIES AS RECORDED IN OFFICIAL RECORDS BOOK 14646, PAGE 1095 AND OFFICIAL RECORDS BOOK 5547, PAGE 349, ALL OF THE PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, LYING WITHIN SECTION 15, TOWNSHIP 4 SOUTH, RANGE 27 EAST, DUVAL COUNTY, FLORIDA



NO.	DATE	DESCRIPTION	BY
1	12/21/11	ASBIP COMPANIES, LLC	ASBIP
2	01/27/12	ASBIP COMPANIES, LLC	ASBIP
3	02/22/12	ASBIP COMPANIES, LLC	ASBIP
4	03/27/12	ASBIP COMPANIES, LLC	ASBIP
5	04/27/12	ASBIP COMPANIES, LLC	ASBIP
6	05/27/12	ASBIP COMPANIES, LLC	ASBIP
7	06/27/12	ASBIP COMPANIES, LLC	ASBIP
8	07/27/12	ASBIP COMPANIES, LLC	ASBIP
9	08/27/12	ASBIP COMPANIES, LLC	ASBIP
10	09/27/12	ASBIP COMPANIES, LLC	ASBIP
11	10/27/12	ASBIP COMPANIES, LLC	ASBIP
12	11/27/12	ASBIP COMPANIES, LLC	ASBIP
13	12/27/12	ASBIP COMPANIES, LLC	ASBIP
14	01/27/13	ASBIP COMPANIES, LLC	ASBIP
15	02/27/13	ASBIP COMPANIES, LLC	ASBIP
16	03/27/13	ASBIP COMPANIES, LLC	ASBIP
17	04/27/13	ASBIP COMPANIES, LLC	ASBIP
18	05/27/13	ASBIP COMPANIES, LLC	ASBIP
19	06/27/13	ASBIP COMPANIES, LLC	ASBIP
20	07/27/13	ASBIP COMPANIES, LLC	ASBIP
21	08/27/13	ASBIP COMPANIES, LLC	ASBIP
22	09/27/13	ASBIP COMPANIES, LLC	ASBIP
23	10/27/13	ASBIP COMPANIES, LLC	ASBIP
24	11/27/13	ASBIP COMPANIES, LLC	ASBIP
25	12/27/13	ASBIP COMPANIES, LLC	ASBIP
26	01/27/14	ASBIP COMPANIES, LLC	ASBIP
27	02/27/14	ASBIP COMPANIES, LLC	ASBIP
28	03/27/14	ASBIP COMPANIES, LLC	ASBIP
29	04/27/14	ASBIP COMPANIES, LLC	ASBIP
30	05/27/14	ASBIP COMPANIES, LLC	ASBIP
31	06/27/14	ASBIP COMPANIES, LLC	ASBIP
32	07/27/14	ASBIP COMPANIES, LLC	ASBIP
33	08/27/14	ASBIP COMPANIES, LLC	ASBIP
34	09/27/14	ASBIP COMPANIES, LLC	ASBIP
35	10/27/14	ASBIP COMPANIES, LLC	ASBIP
36	11/27/14	ASBIP COMPANIES, LLC	ASBIP
37	12/27/14	ASBIP COMPANIES, LLC	ASBIP
38	01/27/15	ASBIP COMPANIES, LLC	ASBIP
39	02/27/15	ASBIP COMPANIES, LLC	ASBIP
40	03/27/15	ASBIP COMPANIES, LLC	ASBIP
41	04/27/15	ASBIP COMPANIES, LLC	ASBIP
42	05/27/15	ASBIP COMPANIES, LLC	ASBIP
43	06/27/15	ASBIP COMPANIES, LLC	ASBIP
44	07/27/15	ASBIP COMPANIES, LLC	ASBIP
45	08/27/15	ASBIP COMPANIES, LLC	ASBIP
46	09/27/15	ASBIP COMPANIES, LLC	ASBIP
47	10/27/15	ASBIP COMPANIES, LLC	ASBIP
48	11/27/15	ASBIP COMPANIES, LLC	ASBIP
49	12/27/15	ASBIP COMPANIES, LLC	ASBIP
50	01/27/16	ASBIP COMPANIES, LLC	ASBIP

ASBIP COMPANIES, LLC
 1000 W. 10th Street, Suite 100
 Jacksonville, FL 32209
 Phone: 904.241.1234
 Fax: 904.241.1235
 Email: info@asbip.com

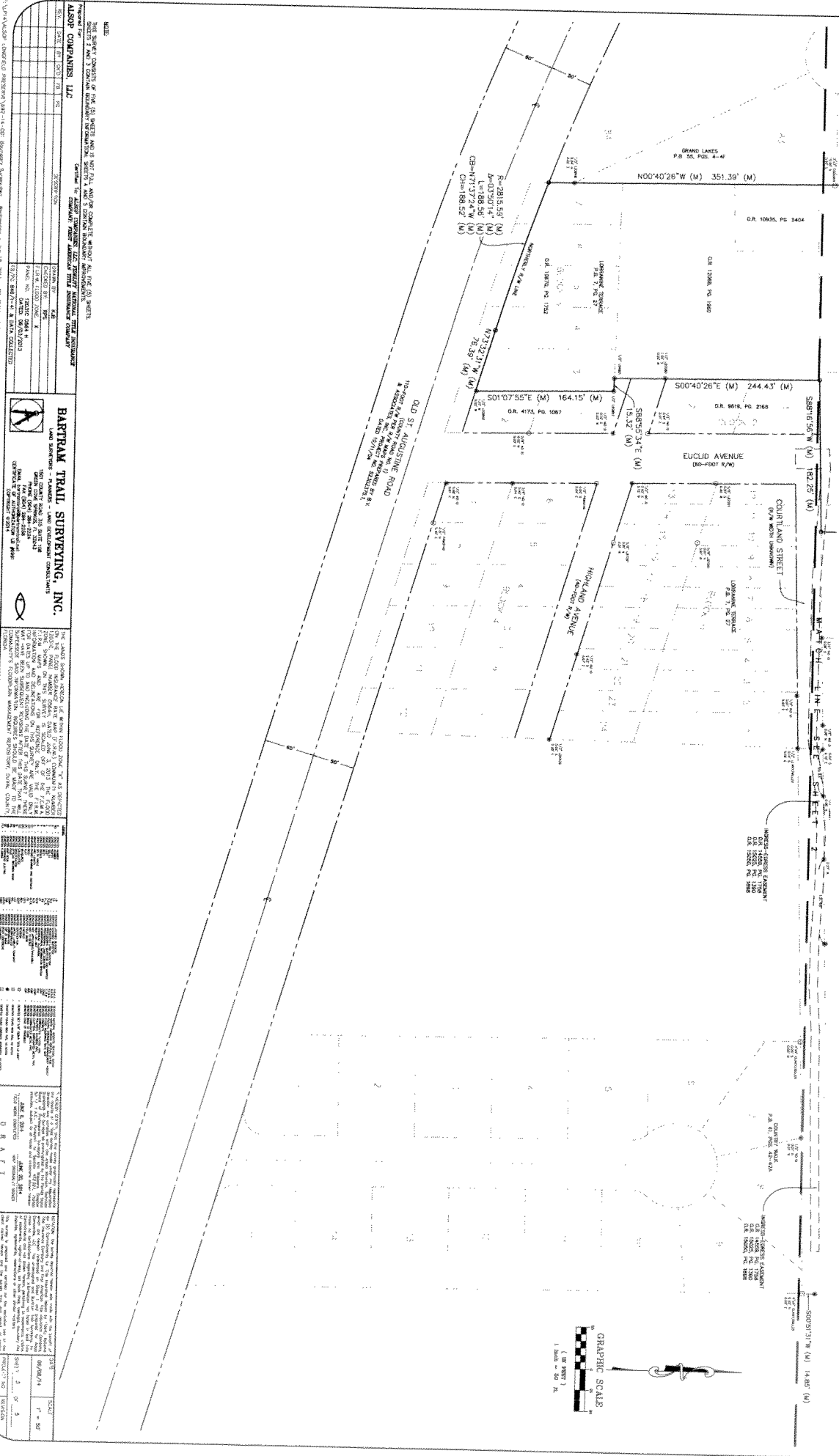
BARTRAM TRAIL SURVEYING, INC.
 3000 W. 10th Street, Suite 100
 Jacksonville, FL 32209
 Phone: 904.241.1234
 Fax: 904.241.1235
 Email: info@bartramtrail.com

DRAFT

GRAPHIC SCALE
 1" = 50'
 1" = 100'

BOUNDARY SURVEY

OF A TRACT OF LAND BEING THE SAME AS THOSE CERTAIN PROPERTIES AS RECORDED IN OFFICIAL RECORDS BOOK 16714, PAGE 427; OFFICIAL RECORDS BOOK 10891, PAGE 1372; OFFICIAL RECORDS BOOK 10935, PAGE 2404; OFFICIAL RECORDS BOOK 12068, PAGE 1960; OFFICIAL RECORDS BOOK 10670, PAGE 1752; OFFICIAL RECORDS BOOK 15812, PAGE 1246; OFFICIAL RECORDS BOOK 13791, PAGE 1102; OFFICIAL RECORDS BOOK 15113, PAGE 186; OFFICIAL RECORDS BOOK 13743, PAGE 2393 AND OFFICIAL RECORDS BOOK 15930, PAGE 469, ALL OF THE PUBLIC RECORDS OF DUAL COUNTY, FLORIDA, ALONG WITH A PORTION OF THOSE CERTAIN PROPERTIES AS RECORDED IN OFFICIAL RECORDS BOOK 14646, PAGE 1095 AND OFFICIAL RECORDS BOOK 5547, PAGE 349, ALL OF THE PUBLIC RECORDS OF DUAL COUNTY, FLORIDA, LYING WITHIN SECTION 15, TOWNSHIP 4 SOUTH, RANGE 27 EAST, DUAL COUNTY, FLORIDA



NOTES:

THIS SURVEY CONSISTS OF ONE (1) SHEET AND ONE (1) PARTIAL SHEET, TOGETHER WITH THE ORIGINAL RECORDS OF THE SURVEY, AND IS SUBJECT TO THE REVISIONS AND CORRECTIONS AS SHOWN ON THE ORIGINAL RECORDS OF THE SURVEY.

ASPP COMPANIES, LTD.

OWNER: ASPP COMPANIES, LTD. PROJECT: NATIONAL TRAIL ASSURANCE

DATE: 08/08/14

SCALE: 1" = 50'

BARTRAM TRAIL SURVEYING, INC.

LAND SURVEYORS - PLANNERS - LAND DEVELOPMENT CONSULTANTS

100 BARTRAM TRAIL, SUITE 200, JACKSONVILLE, FLORIDA 32216

PHONE: 904.726.1234 FAX: 904.726.1235

WWW.BARTRAMTRAILSURVEYING.COM

REGISTERED PROFESSIONAL SURVEYORS AND PLANNERS

FLORIDA LICENSE NO. 12500 (S) AND 12501 (P)

FLORIDA LICENSE NO. 12502 (S) AND 12503 (P)

FLORIDA LICENSE NO. 12504 (S) AND 12505 (P)

FLORIDA LICENSE NO. 12506 (S) AND 12507 (P)

FLORIDA LICENSE NO. 12508 (S) AND 12509 (P)

FLORIDA LICENSE NO. 12510 (S) AND 12511 (P)

FLORIDA LICENSE NO. 12512 (S) AND 12513 (P)

FLORIDA LICENSE NO. 12514 (S) AND 12515 (P)

FLORIDA LICENSE NO. 12516 (S) AND 12517 (P)

FLORIDA LICENSE NO. 12518 (S) AND 12519 (P)

FLORIDA LICENSE NO. 12520 (S) AND 12521 (P)

FLORIDA LICENSE NO. 12522 (S) AND 12523 (P)

FLORIDA LICENSE NO. 12524 (S) AND 12525 (P)

FLORIDA LICENSE NO. 12526 (S) AND 12527 (P)

FLORIDA LICENSE NO. 12528 (S) AND 12529 (P)

FLORIDA LICENSE NO. 12530 (S) AND 12531 (P)

FLORIDA LICENSE NO. 12532 (S) AND 12533 (P)

FLORIDA LICENSE NO. 12534 (S) AND 12535 (P)

FLORIDA LICENSE NO. 12536 (S) AND 12537 (P)

FLORIDA LICENSE NO. 12538 (S) AND 12539 (P)

FLORIDA LICENSE NO. 12540 (S) AND 12541 (P)

FLORIDA LICENSE NO. 12542 (S) AND 12543 (P)

FLORIDA LICENSE NO. 12544 (S) AND 12545 (P)

FLORIDA LICENSE NO. 12546 (S) AND 12547 (P)

FLORIDA LICENSE NO. 12548 (S) AND 12549 (P)

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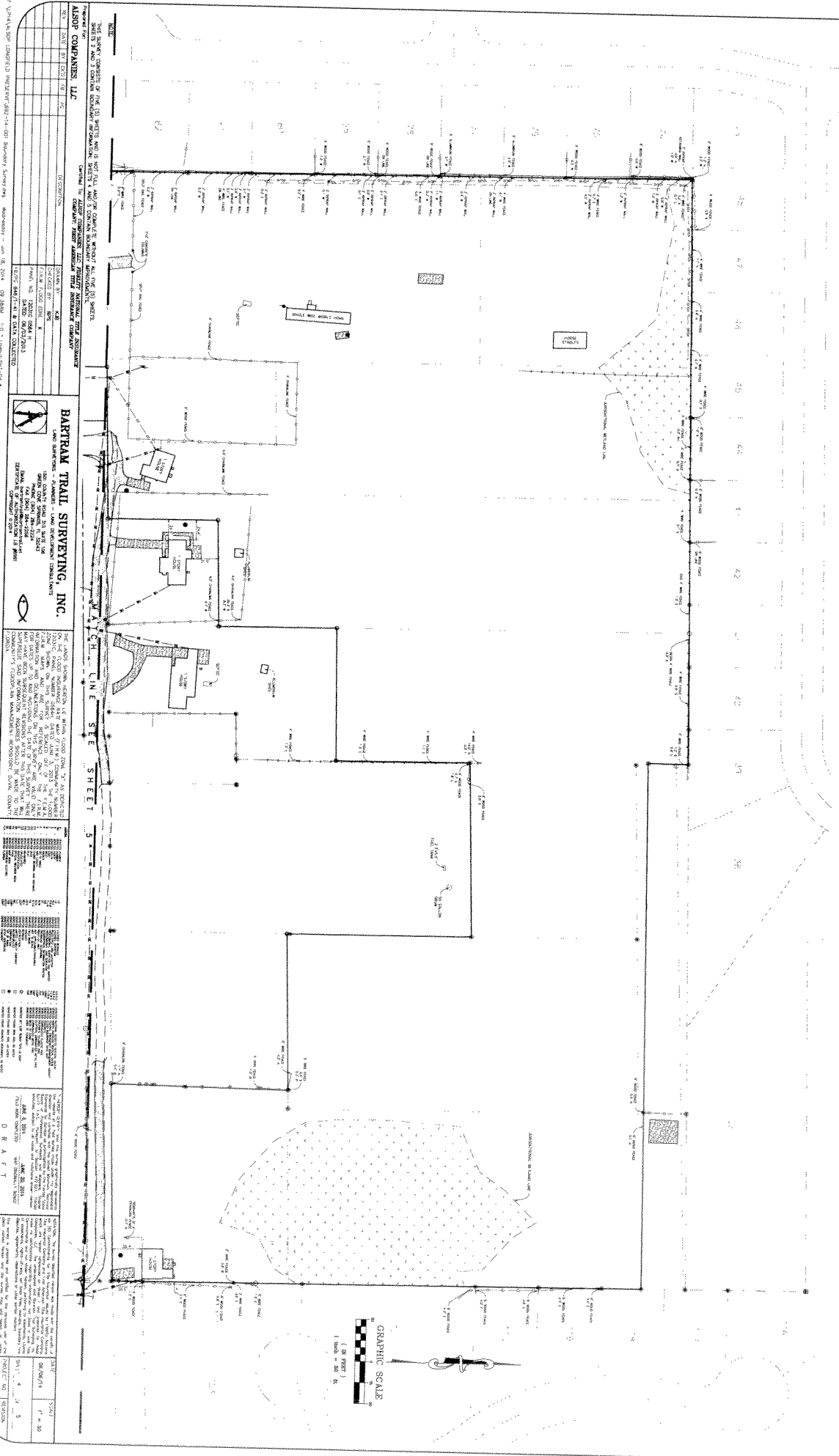
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FLORIDA LICENSE NO. 12800 (S) AND 12801 (P)

BOUNDARY SURVEY

OF A TRACT OF LAND BEING THE SAME AS THOSE CERTAIN PROPERTIES AS RECORDED IN OFFICIAL RECORDS BOOK 18714, PAGE 427; OFFICIAL RECORDS BOOK 10891, PAGE 1372; OFFICIAL RECORDS BOOK 10935, PAGE 2404; OFFICIAL RECORDS BOOK 12088, PAGE 1960; OFFICIAL RECORDS BOOK 10670, PAGE 1792; OFFICIAL RECORDS BOOK 15812, PAGE 1246; OFFICIAL RECORDS BOOK 13791, PAGE 1102; OFFICIAL RECORDS BOOK 15113, PAGE 186; OFFICIAL RECORDS BOOK 15743, PAGE 2393 AND OFFICIAL RECORDS BOOK 15930, PAGE 469 ALL OF THE PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, ALONG WITH A PORTION OF THOSE CERTAIN PROPERTIES AS RECORDED IN OFFICIAL RECORDS BOOK 14646, PAGE 1095 AND OFFICIAL RECORDS BOOK 5547, PAGE 349, ALL OF THE PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, LYING WITHIN SECTION 15, TOWNSHIP 4 SOUTH, RANGE 27 EAST, DUVAL COUNTY, FLORIDA

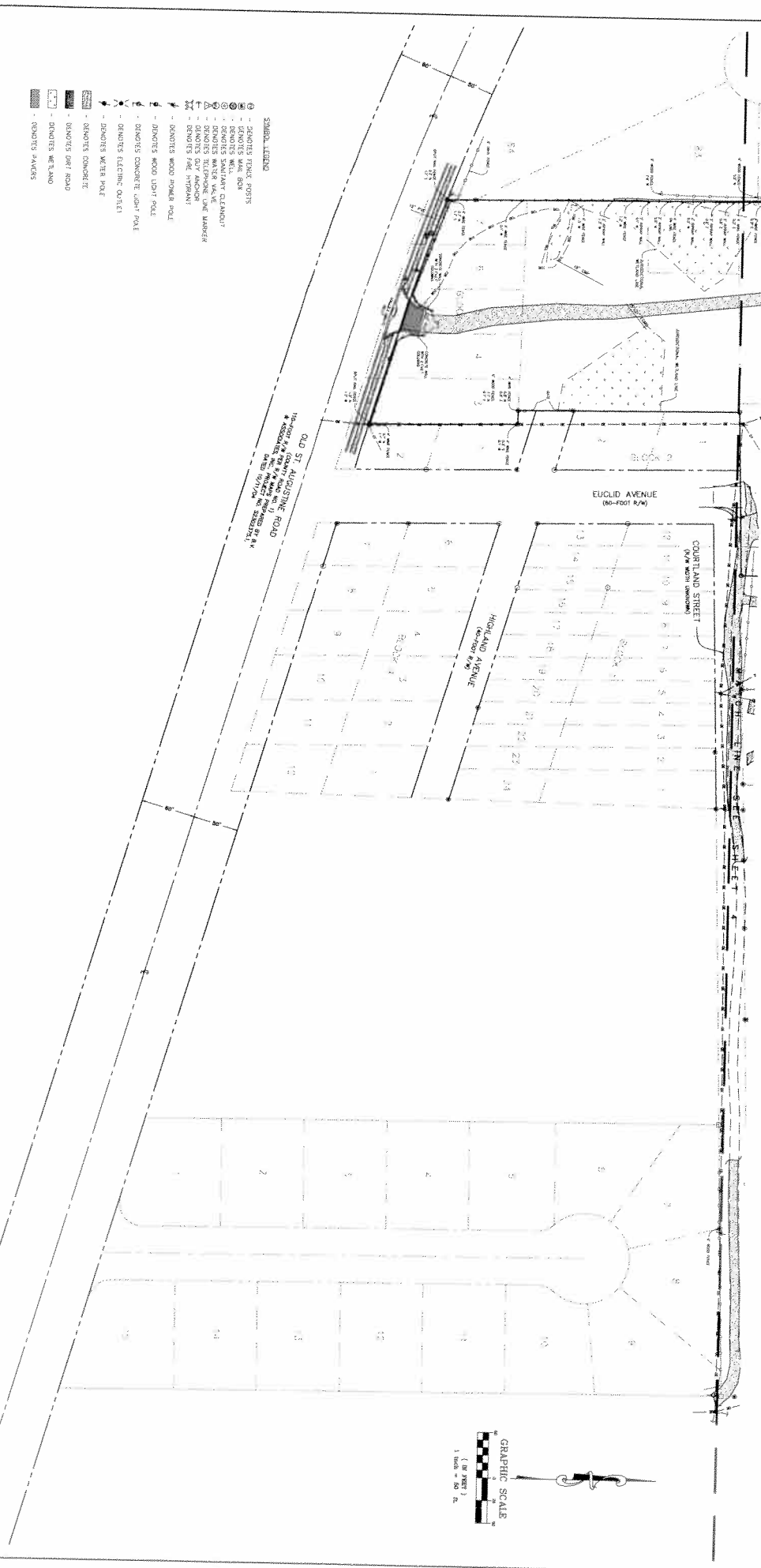


NO.	DATE	DESCRIPTION	BY
1	01/15/14	CONTRACT FOR SURVEY	J. B. BARTON
2	02/10/14	FIELD NOTES	J. B. BARTON
3	03/05/14	FIELD NOTES	J. B. BARTON
4	04/01/14	FIELD NOTES	J. B. BARTON
5	04/28/14	FIELD NOTES	J. B. BARTON
6	05/26/14	FIELD NOTES	J. B. BARTON
7	06/23/14	FIELD NOTES	J. B. BARTON
8	07/20/14	FIELD NOTES	J. B. BARTON
9	08/17/14	FIELD NOTES	J. B. BARTON
10	09/14/14	FIELD NOTES	J. B. BARTON
11	10/11/14	FIELD NOTES	J. B. BARTON
12	11/08/14	FIELD NOTES	J. B. BARTON
13	12/05/14	FIELD NOTES	J. B. BARTON
14	01/02/15	FIELD NOTES	J. B. BARTON
15	02/06/15	FIELD NOTES	J. B. BARTON
16	03/03/15	FIELD NOTES	J. B. BARTON
17	04/07/15	FIELD NOTES	J. B. BARTON
18	05/05/15	FIELD NOTES	J. B. BARTON
19	06/02/15	FIELD NOTES	J. B. BARTON
20	07/07/15	FIELD NOTES	J. B. BARTON
21	08/04/15	FIELD NOTES	J. B. BARTON
22	09/01/15	FIELD NOTES	J. B. BARTON
23	10/06/15	FIELD NOTES	J. B. BARTON
24	11/03/15	FIELD NOTES	J. B. BARTON
25	12/01/15	FIELD NOTES	J. B. BARTON
26	01/04/16	FIELD NOTES	J. B. BARTON
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86	01/01/21	FIELD NOTES	J. B. BARTON
87	02/01/21	FIELD NOTES	J. B. BARTON
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89	04/01/21	FIELD NOTES	J. B. BARTON
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98	01/01/22	FIELD NOTES	J. B. BARTON
99	02/01/22	FIELD NOTES	J. B. BARTON
100	03/01/22	FIELD NOTES	J. B. BARTON

ALSP COMPANIES, LLC
 BARTRAM TRAIL SURVEYING, INC.
 GRAPHIC SCALE
 1" = 50'

BOUNDARY SURVEY

OF A TRACT OF LAND BEING THE SAME AS THOSE CERTAIN PROPERTIES AS RECORDED IN OFFICIAL RECORDS BOOK 16714, PAGE 427; OFFICIAL RECORDS BOOK 10891, PAGE 1372; OFFICIAL RECORDS BOOK 10935, PAGE 2404; OFFICIAL RECORDS BOOK 12068, PAGE 1960; OFFICIAL RECORDS BOOK 10670, PAGE 1792; OFFICIAL RECORDS BOOK 15812, PAGE 1246; OFFICIAL RECORDS BOOK 13791, PAGE 1102; OFFICIAL RECORDS BOOK 15113, PAGE 186; OFFICIAL RECORDS BOOK 13743, PAGE 2393 AND OFFICIAL RECORDS BOOK 15930, PAGE 469, ALL OF THE PUBLIC RECORDS OF DIVAL COUNTY, FLORIDA, ALONG WITH A PORTION OF THOSE CERTAIN PROPERTIES AS RECORDED IN OFFICIAL RECORDS BOOK 14646, PAGE 1095 AND OFFICIAL RECORDS BOOK 5547, PAGE 349, ALL OF THE PUBLIC RECORDS OF DIVAL COUNTY, FLORIDA, LYING WITHIN SECTION 15, TOWNSHIP 4 SOUTH, RANG 27 EAST, DIVAL COUNTY, FLORIDA



- SYMBOL LEGEND**
- ⊕ - SIGNETS IRON PIPES
 - ⊙ - SIGNETS IRON BOLTS
 - ⊗ - SIGNETS WELLS
 - ⊚ - SIGNETS WIRE STAPLES
 - ⊛ - SIGNETS WATER VALVE
 - ⊜ - SIGNETS TELEPHONE CABLE MARKER
 - ⊝ - SIGNETS FOR HYDRANT
 - ⊞ - SIGNETS WOOD POWER POLE
 - ⊟ - SIGNETS WOOD LIGHT POLE
 - ⊠ - SIGNETS ELECTRIC OUTLET
 - ⊡ - SIGNETS WIRE POLE
 - ⊢ - SIGNETS CONCRETE
 - ⊣ - SIGNETS DIRT ROAD
 - ⊤ - SIGNETS METAL
 - ⊥ - SIGNETS STAKES

NOTES

THIS SURVEY CONFORMS TO THE FLORIDA SURVEYING AND MAPPING ACT AND THE FLORIDA BOARD OF SURVEYING AND MAPPING. THE SURVEYOR HAS REVIEWED ALL THE RECORDS OF THE PUBLIC RECORDS OF DIVAL COUNTY, FLORIDA, AND HAS FOUND THAT THE SAME ARE CORRECT AND COMPLETE.

ASSISTANT SURVEYORS

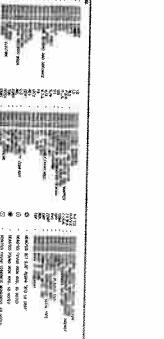
NO.	NAME	REG. NO.	EXPIRES	STATUS
1	ALAN J. BARTLEY	12345	12/31/2025	ACTIVE
2	JOHN D. SMITH	67890	12/31/2024	ACTIVE

BARTLEY TRAIL SURVEYING, INC.

LAND SURVEYING - PLANNING - LAND ACQUISITION CONSULTANTS

1000 WEST 10TH AVENUE, SUITE 100
 TAMPA, FLORIDA 33606
 TEL: 813-288-1234
 FAX: 813-288-5678
 WWW.BARTLEYTRAIL.COM

THE LAND SURVEYING ACT OF 1998, CHAPTER 473, F.S., AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.001 THROUGH 61A-01.005, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.006 THROUGH 61A-01.010, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.011 THROUGH 61A-01.015, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.016 THROUGH 61A-01.020, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.021 THROUGH 61A-01.025, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.026 THROUGH 61A-01.030, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.031 THROUGH 61A-01.035, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.036 THROUGH 61A-01.040, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.041 THROUGH 61A-01.045, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.046 THROUGH 61A-01.050, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.051 THROUGH 61A-01.055, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.056 THROUGH 61A-01.060, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.061 THROUGH 61A-01.065, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.066 THROUGH 61A-01.070, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.071 THROUGH 61A-01.075, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.076 THROUGH 61A-01.080, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.081 THROUGH 61A-01.085, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.086 THROUGH 61A-01.090, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.091 THROUGH 61A-01.095, AND THE FLORIDA BOARD OF SURVEYING AND MAPPING, RULES 61A-01.096 THROUGH 61A-01.100.



ORF 1

THIS SURVEY CONFORMS TO THE FLORIDA SURVEYING AND MAPPING ACT AND THE FLORIDA BOARD OF SURVEYING AND MAPPING. THE SURVEYOR HAS REVIEWED ALL THE RECORDS OF THE PUBLIC RECORDS OF DIVAL COUNTY, FLORIDA, AND HAS FOUND THAT THE SAME ARE CORRECT AND COMPLETE.

NO.	NAME	REG. NO.	EXPIRES	STATUS
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